

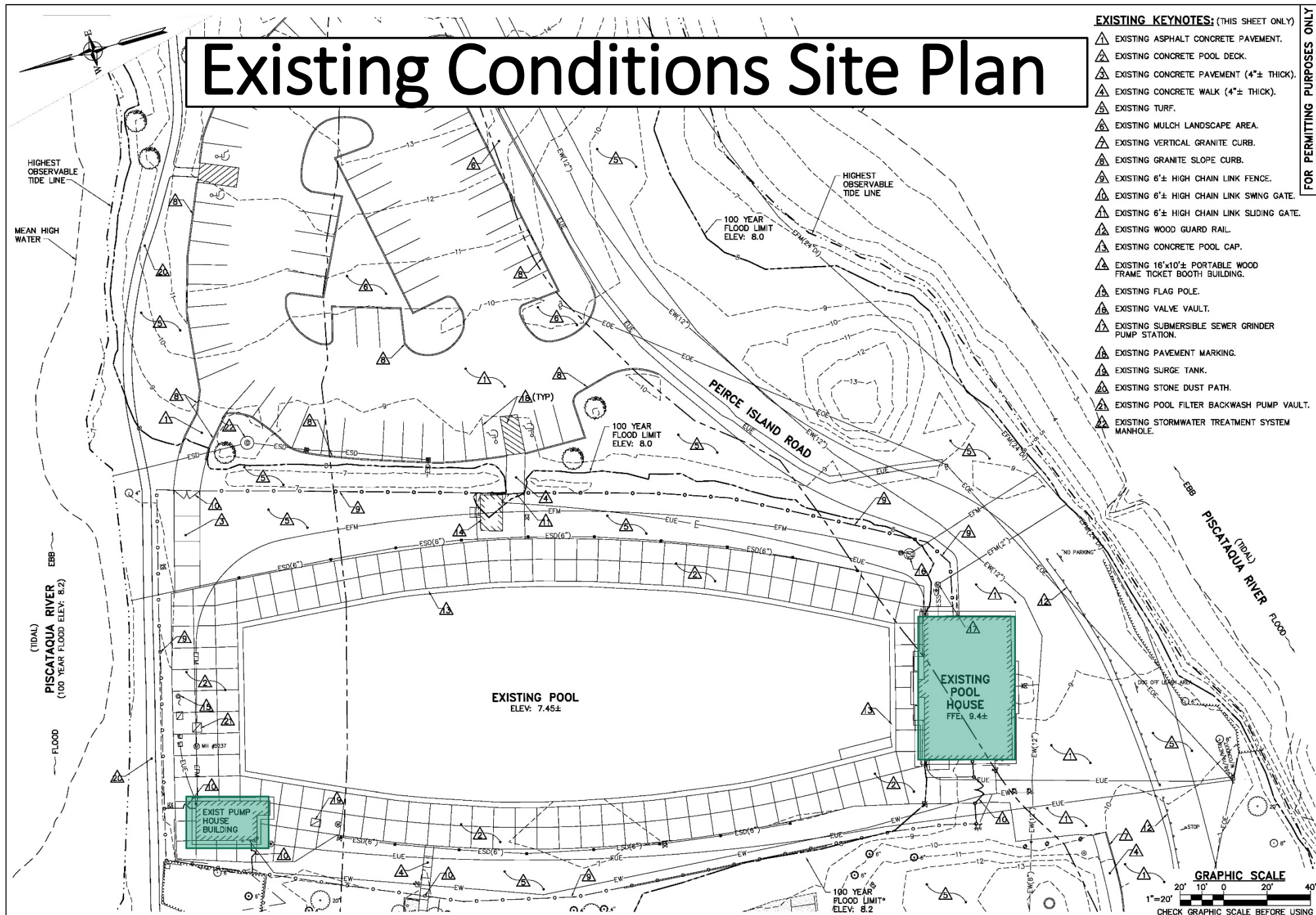
# Peirce Island Pool Upgrade Recreation Board Presentation



Recreation Department and  
Public Works Department

June 9<sup>th</sup>, 2021

# Existing Conditions Site Plan



## EXISTING KEYNOTES: (THIS SHEET ONLY)

- △ EXISTING ASPHALT CONCRETE PAVEMENT.
- △ EXISTING CONCRETE POOL DECK.
- △ EXISTING CONCRETE PAVEMENT (4"± THICK).
- △ EXISTING CONCRETE WALK (4"± THICK).
- △ EXISTING TURF.
- △ EXISTING MULCH LANDSCAPE AREA.
- △ EXISTING VERTICAL GRANITE CURB.
- △ EXISTING GRANITE SLOPE CURB.
- △ EXISTING 6'± HIGH CHAIN LINK FENCE.
- △ EXISTING 6'± HIGH CHAIN LINK SWING GATE.
- △ EXISTING 6'± HIGH CHAIN LINK SLIDING GATE.
- △ EXISTING WOOD GUARD RAIL.
- △ EXISTING CONCRETE POOL CAP.
- △ EXISTING 16'x10'± PORTABLE WOOD FRAME TICKET BOOTH BUILDING.
- △ EXISTING FLAG POLE.
- △ EXISTING VALVE VAULT.
- △ EXISTING SUBMERSIBLE SEWER GRINDER PUMP STATION.
- △ EXISTING PAVEMENT MARKING.
- △ EXISTING SURGE TANK.
- △ EXISTING STONE DUST PATH.
- △ EXISTING POOL FILTER BACKWASH PUMP VAULT.
- △ EXISTING STORMWATER TREATMENT SYSTEM MANHOLE.

FOR PERMITTING PURPOSES ONLY  
NOT FOR CONSTRUCTION

OAK POINT  
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DRAWN BY:  
CHECKED BY:  
PROJECT:  
21904-14

CITY OF PORTSMOUTH  
1 Jenkins Avenue  
Portsmouth, NH 03801

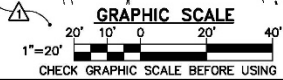
PEIRCE ISLAND POOL HOUSE  
AND POOL RENOVATION  
Peirce Island Road  
Portsmouth, NH 03801

EXISTING  
CONDITIONS  
SITE PLAN

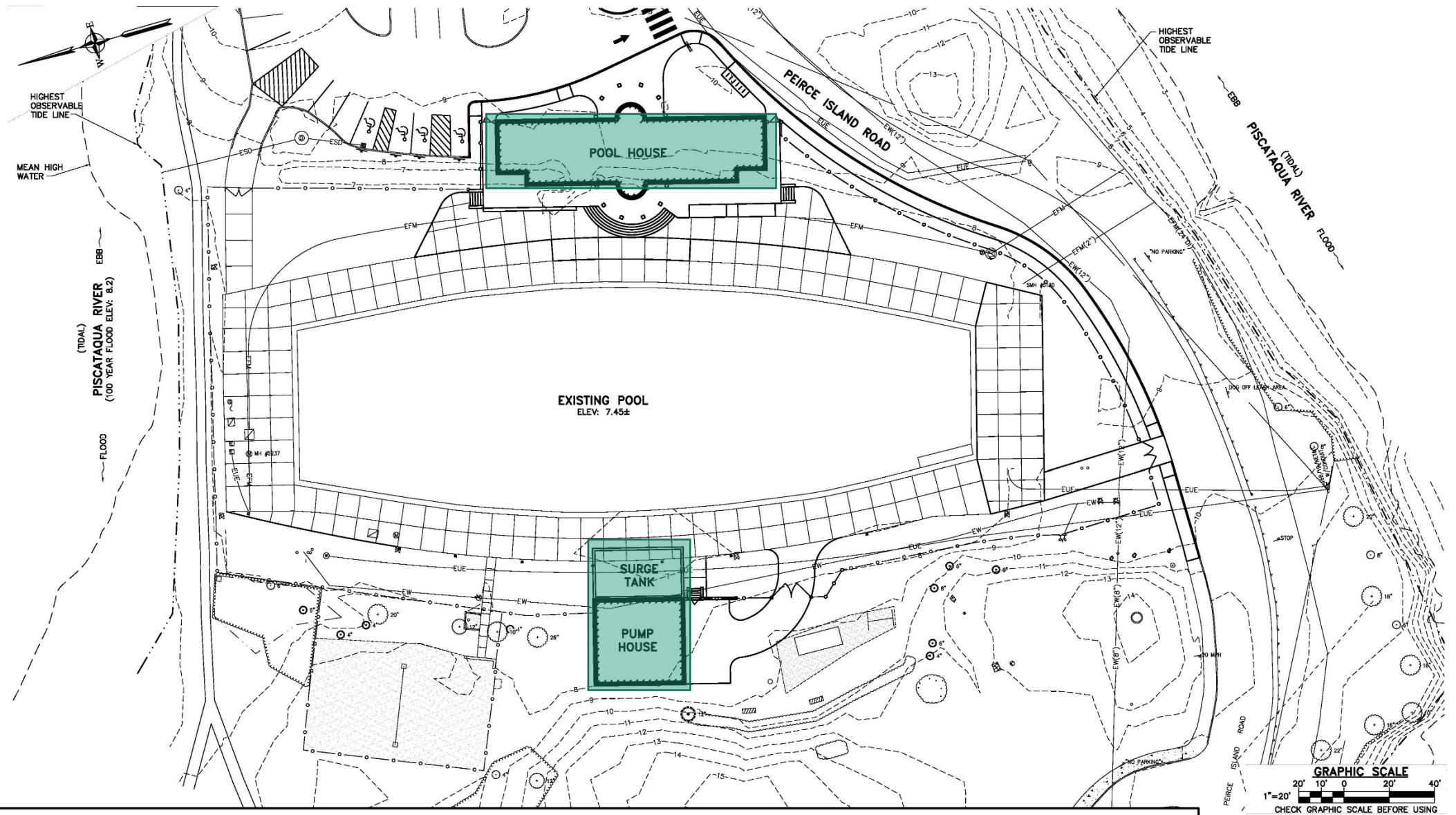
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DATE: 05/26/2021

DWG: CX101

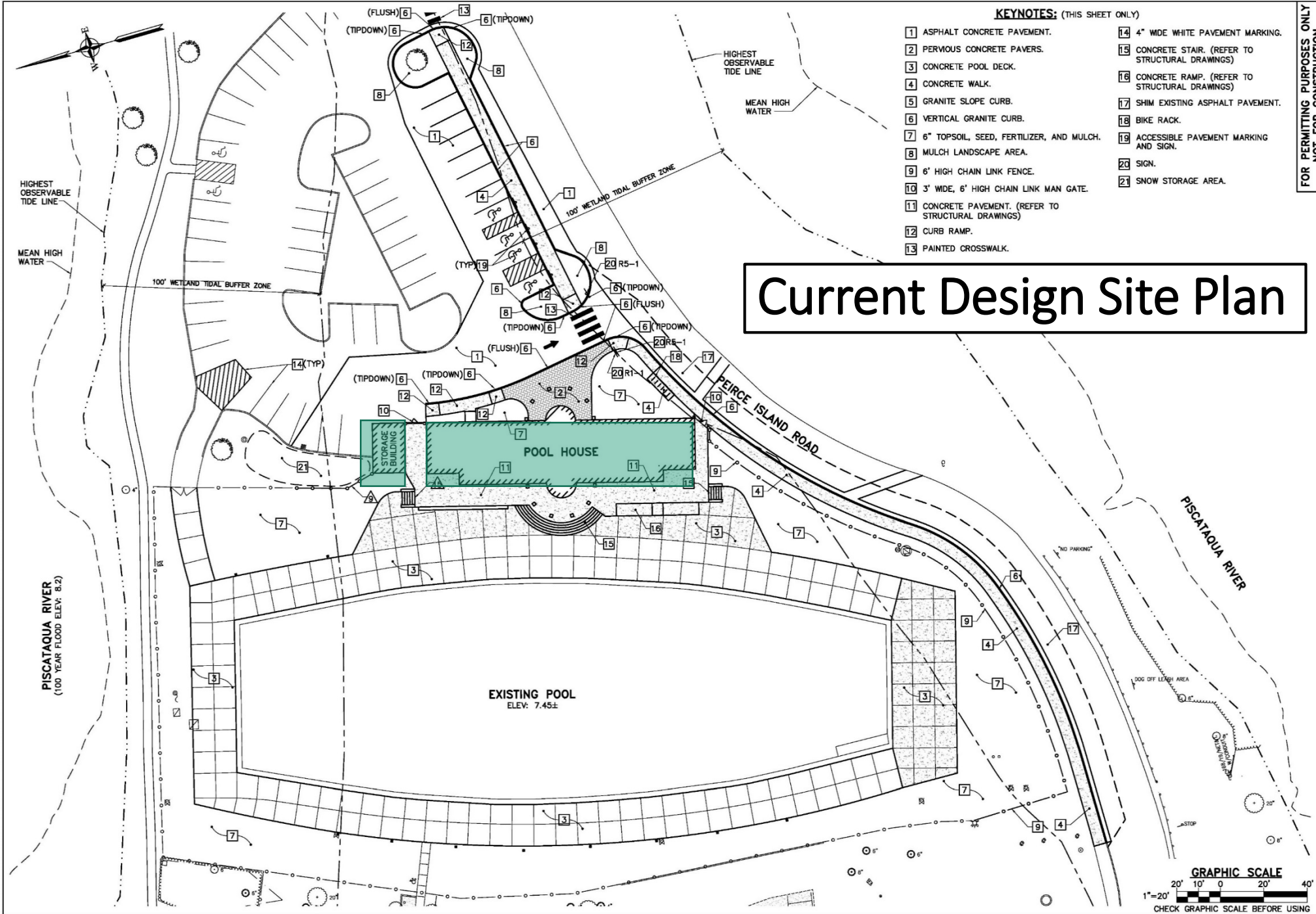
SHEET: . OF .







# Previous Concept Site Plan – Separate Pool and Pump House Buildings



# Current Design Site Plan

- KEYNOTES: (THIS SHEET ONLY)**
- |  |   |
|--|---|
| 1 ASPHALT CONCRETE PAVEMENT.                         | 14 4" WIDE WHITE PAVEMENT MARKING.                |
| 2 PERVIOUS CONCRETE PAVERS.                          | 15 CONCRETE STAIR. (REFER TO STRUCTURAL DRAWINGS) |
| 3 CONCRETE POOL DECK.                                | 16 CONCRETE RAMP. (REFER TO STRUCTURAL DRAWINGS)  |
| 4 CONCRETE WALK.                                     | 17 SHIM EXISTING ASPHALT PAVEMENT.                |
| 5 GRANITE SLOPE CURB.                                | 18 BIKE RACK.                                     |
| 6 VERTICAL GRANITE CURB.                             | 19 ACCESSIBLE PAVEMENT MARKING AND SIGN.          |
| 7 6" TOPSOIL, SEED, FERTILIZER, AND MULCH.           | 20 SIGN.  |
| 8 MULCH LANDSCAPE AREA.                              | 21 SNOW STORAGE AREA.                             |
| 9 6' HIGH CHAIN LINK FENCE.                          |   |
| 10 3' WIDE, 6' HIGH CHAIN LINK MAN GATE.             |   |
| 11 CONCRETE PAVEMENT. (REFER TO STRUCTURAL DRAWINGS) |   |
| 12 CURB RAMP.  |   |
| 13 PAINTED CROSSWALK.                                |   |

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DESIGNED BY: WAL  
DRAWN BY: WAL  
CHECKED BY: WAL  
PROJECT: 21904.14

CITY OF PORTSMOUTH  
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PEIRCE ISLAND POOL HOUSE  
AND POOL RENOVATION  
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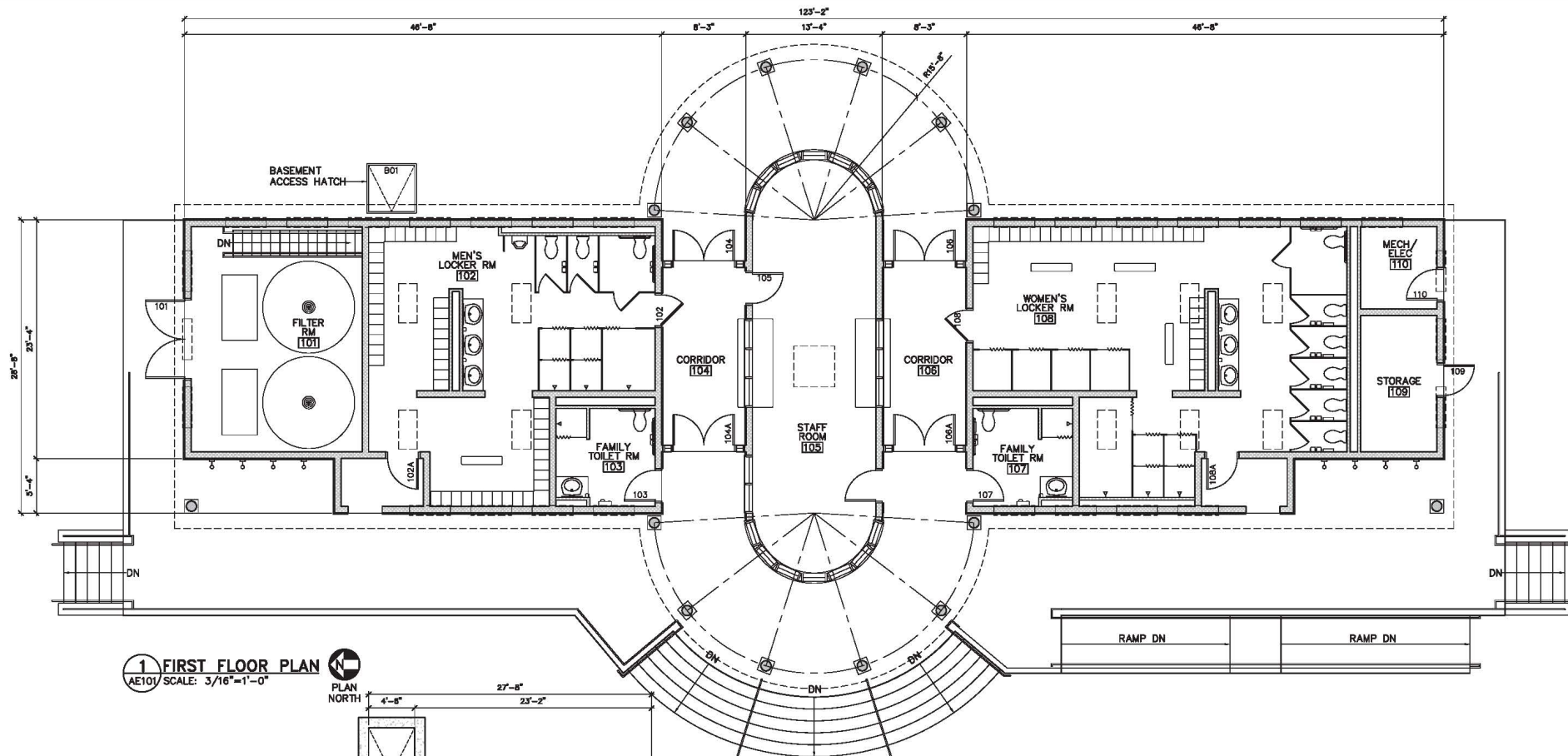
SITE  
PLAN

SCALE: AS NOTED  
DATE: 05/26/2021

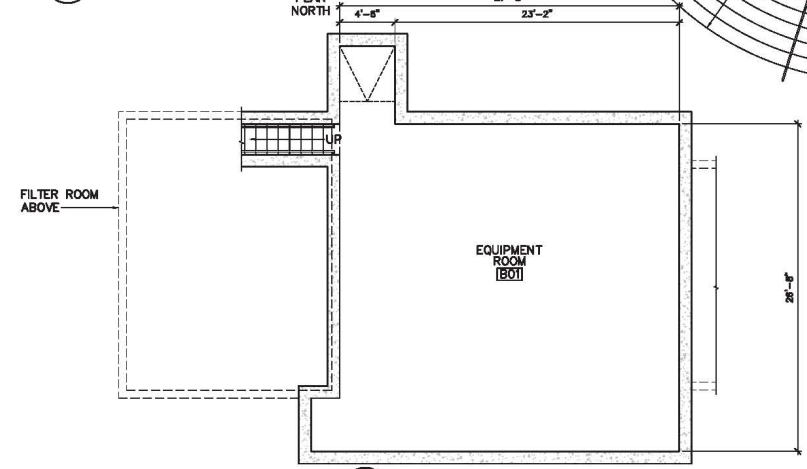
DWG: CS101

SHEET: . OF .

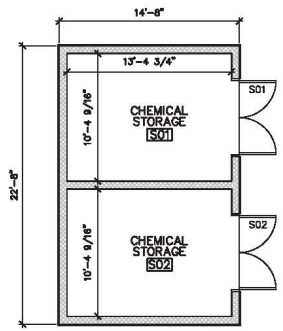




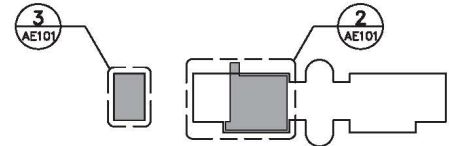
**1 FIRST FLOOR PLAN**  
 AE101/ SCALE: 3/16"=1'-0"  
 PLAN NORTH



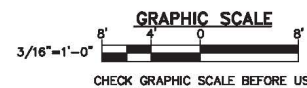
**2 BASEMENT FLOOR PLAN**  
 AE101/ SCALE: 3/16"=1'-0"  
 PLAN NORTH



**3 STORAGE BUILDING FLOOR PLAN**  
 AE101/ SCALE: 3/16"=1'-0"  
 PLAN NORTH



**KEY PLAN**  
 NOT TO SCALE  
 PLAN NORTH



**OAK POINT ASSOCIATE**  
 80 Middle Street, Portsmouth, NH 03801 (760.611.4848) (760.611.4849) (760.611.4850)

DESIGNED BY: KTW  
 DRAWN BY: RMT  
 CHECKED BY: KTW  
 PROJECT: 21804.14

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**PEIRCE ISLAND POOL HOUSE AND POOL RENOVATION**  
 Peirce Island Road  
 Portsmouth, NH 03801

**FLOOR PLANS**

SCALE: AS NOTED  
 DATE: 04/26/2021

DWG.: **AE101**

SHEET: OF **XX**

KTW  
 CWM  
 KTV  
 21904.14  
 DESIGNED BY:  
 DRAWN BY:  
 CHECKED BY:  
 PROJECT:

**CITY OF PORTSMOUTH**  
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 Portsmouth, NH 03801

**PEIRCE ISLAND POOL HOUSE  
 AND POOL RENOVATION**  
 Peirce Island Road  
 Portsmouth, NH 03801

**WEST  
 AND  
 NORTH  
 EXTERIOR  
 ELEVATIONS**

SCALE: AS NOTED  
 DATE: 04/26/2021  
 DWG.: **AE201**  
 SHEET: **X** OF **XX**

RIDGE — CUPOLA  
 ELEV=40.13'  
 RIDGE — GABLE ROOF  
 ELEV=29.72'  
 TOP OF WALL  
 ELEV=21.63'  
 TOP OF SLAB  
 ELEV=10.30'



**1 WEST ELEVATION**  
 AE201 SCALE: 3/16"=1'-0"

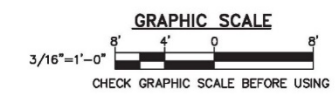
**GENERAL SHEET NOTES:**  
 1. REFER TO SHEET AE601 FOR DOOR TYPES.  
 2. REFER TO SHEET AE620 FOR WINDOW TYPES.

**KEYNOTES: (THIS SHEET ONLY)**  
 -

RIDGE — CUPOLA  
 ELEV=40.13'  
 RIDGE — GABLE ROOF  
 ELEV=29.72'  
 TOP OF WALL  
 ELEV=21.63'  
 TOP OF SLAB  
 ELEV=10.30'



**2 NORTH ELEVATION**  
 AE201 SCALE: 3/16"=1'-0"



RIDGE — CUPOLA  
ELEV=40.13'

RIDGE — GABLE ROOF  
ELEV=29.72'

TOP OF WALL  
ELEV=21.63'

TOP OF SLAB  
ELEV=10.30'



1 EAST ELEVATION  
AE202 SCALE: 3/16"=1'-0"

RIDGE — CUPOLA  
ELEV=40.13'

RIDGE — GABLE ROOF  
ELEV=29.72'

TOP OF WALL  
ELEV=21.63'

TOP OF SLAB  
ELEV=10.30'

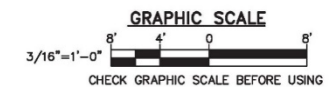


2 SOUTH ELEVATION  
AE202 SCALE: 3/16"=1'-0"

**GENERAL SHEET NOTES:**

1. REFER TO SHEET AE601 FOR DOOR TYPES.
2. REFER TO SHEET AE620 FOR WINDOW TYPES.

**KEYNOTES: (THIS SHEET ONLY)**



RIDGE - CUPOLA  
ELEV=

RIDGE  
ELEV=29.13'

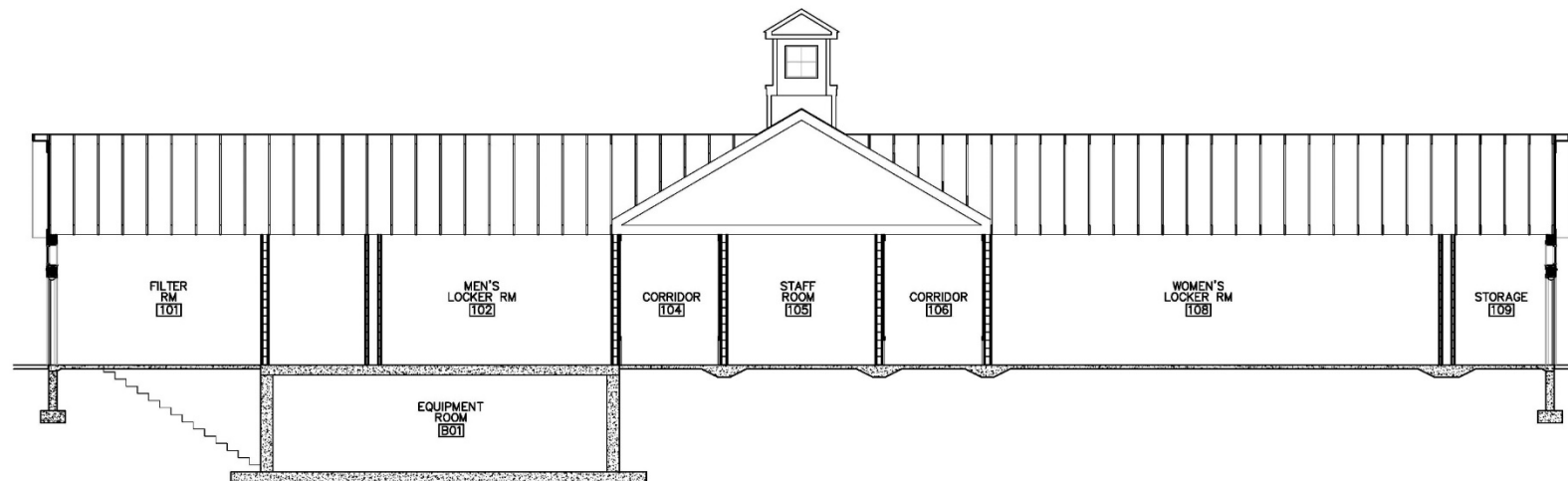
TOP OF WALL  
ELEV=20.97'

FIRST FLOOR  
ELEV=10.30'

BASEMENT  
ELEV=1.55'

1 BUILDING SECTION

AE101 AE220 SCALE: 3/16"=1'-0"



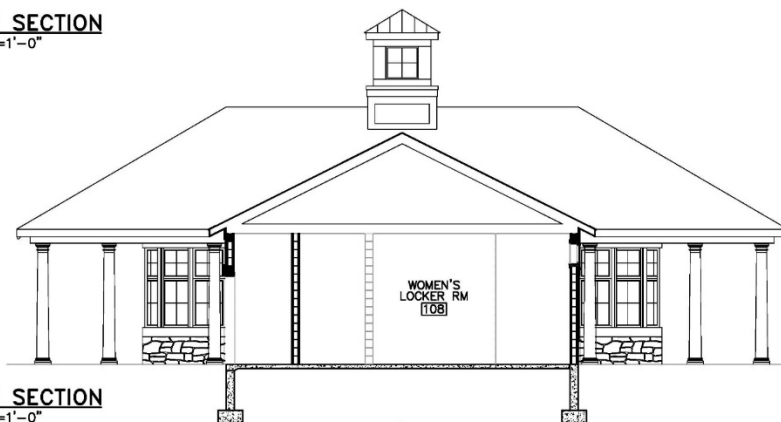
RIDGE  
ELEV=29.13'

TOP OF WALL  
ELEV=20.97'

FIRST FLOOR  
ELEV=10.30'

2 BUILDING SECTION

AE101 AE220 SCALE: 3/16"=1'-0"



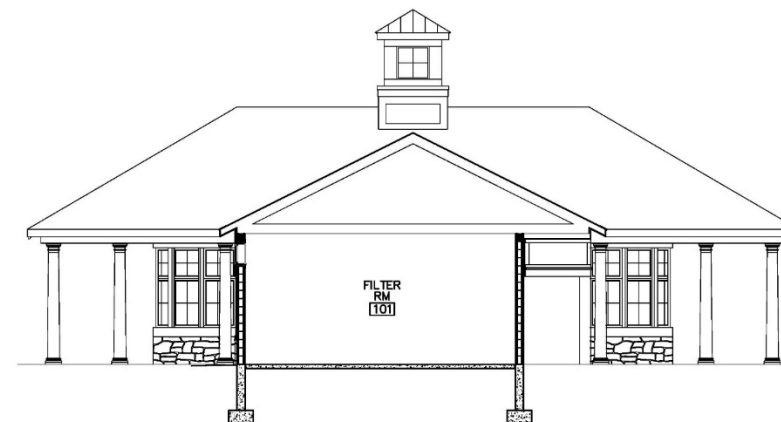
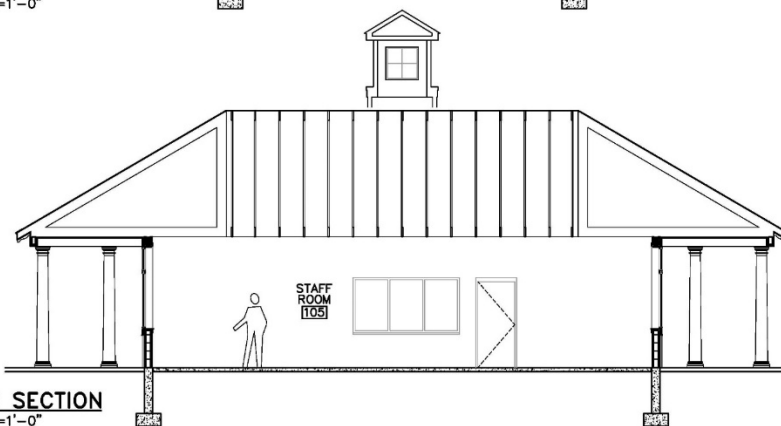
RIDGE  
ELEV=31.22'

TOP OF WALL  
ELEV=20.97'

FIRST FLOOR  
ELEV=10.30'

4 BUILDING SECTION

AE101 AE220 SCALE: 3/16"=1'-0"

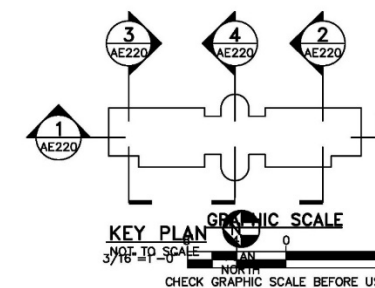


3 BUILDING SECTION

AE101 AE220 SCALE: 3/16"=1'-0"

GENERAL SHEET NOTES:

1. REFER TO SHEET AE601 FOR DOOR TYPES.
2. REFER TO SHEET AE620 FOR WINDOW TYPES.



KEY PLAN  
NOT TO SCALE  
3/16"=1'-0"  
GRAPHIC SCALE  
CHECK GRAPHIC SCALE BEFORE USING



# Current Opinion of Cost

- Phase 1 Pool Aquatics with Filters \$3.0 Million
- Phase 2 Pool House \$3.9 Million
- Total Project Aquatics and Pool House \$6.9 Million

# Anticipated Schedule

- Planning Board June 17, 2021
- Bid Phase 1 Fall 2021
- Start Pool Filter Building Construction Spring 2022 before Summer 2022 Pool Season
- Start Pool Aquatics Fall 2022 after Summer Pool Season
- Complete Phase 1 Prior to 2023 Summer Pool Season