

What Is A Master Plan?

- A **process** of identifying important trends, shared values and effective solutions
- A **guide** for municipal decision-making
 - Emphasis on physical development
 - Long-range perspective
 - Strategic focus
- A **living** document
 - “State of the Master Plan”
 - Revise and update as the City changes

Why Prepare a Master Plan?

- **Anticipate** future challenges
- **Shape** areas with potential for change
- Identify ways to **improve** the community

Master Plans in N.H.: Legal Context

- **Responsibility:** Master plan preparation and amendment is the 1st duty of the Planning Board (RSA 674:1)
- **General Form:** Consists of set of statements & development principles with accompanying maps, diagrams, charts and descriptions as to give legal standing to ... ordinances and other measures of the planning board. (RSA 674:2)
- **In Preparation:** may make surveys, undertake studies, and must consider the goals, guidelines of regional and state plans, as well as those of abutting communities. (RSA 674:3,I)
- **Public Input:** The planning board must "...inform the public, OSP, RPC and solicit public comments regarding the future growth of the municipality..." (RSA 674:3,III)
- **Adoption:** Must follow adoption provisions of RSA 675:6 (by majority vote after duly noticed public hearing)

What Will the Master Plan Include?

- **Goals and Policies**
 - What do we want our City to be like?
 - What principles should guide our decisions?
- **Inventory and Analysis**
 - Information for making decisions about the issues we have identified
- **Implementation**
 - Strategies and actions to reach our goals

The Master Plan will provide ...

- **Direction for land use planning**
 - **Housing**
 - **Open space**
 - **Recreation**
 - **Business locations**
 - **Downtown**
 - **Public facilities**
- **Broad strategies & recommendations**
 - **Planning**
 - **Regulation**
 - **Land acquisition**
 - **Public facility investment**

The Master Plan will not ...

- **Specify standards for departmental operations**
(staffing, budgets, etc.)
- **Guide school programming**
(grade structure, curriculum, class size, etc.)
- **Recommend engineering standards for infrastructure**
(design or construction standards for roads, water mains, etc.)

Master Plan Elements

- **Vision Statement**
- **Population & Social Characteristics**
- **Land Use**
- **Housing**
- **Economic Development**
- **Transportation**
- **Public Facilities & Services**
- **Natural Resources**
- **Natural Hazards & Emergency Management**
- **Recreation**
- **Cultural & Historic Resources**
- **Social Services**
- **Regional Concerns**
- **Implementation**

Land Use

- **What is the best use of Portsmouth's remaining land?**
 - Residential
 - Commercial
 - Industrial
 - Municipal
- **What standards should be applied?**
 - Intensity
 - Height
 - Access
 - Buffers

The Master Plan and Zoning: Important Land Use Choices

- **Where should future growth or redevelopment be directed?**
- **Which land uses mix well, and which don't?**
- **Where and how can new and affordable housing be encouraged?**

The Master Plan and Zoning: Opportunities and Challenges

- **Look at major areas or districts in the City and ask the following questions:**
 - What could or should this area be like in the future?
 - What are its current assets and liabilities?
 - What is worthy of preserving?
 - What should be changed?

The Master Plan and Zoning: Turning Goals Into Actions

Strong land use goals and objectives can lead to specific zoning amendments that relate to:

- **Scale of future development**
- **Density and dimensional features**
- **Mix and array of uses**
- **Development guidance systems (e.g., design review, overlay districts)**

Housing

- **Housing types**
 - Single-family
 - Two-family
 - Townhouse
 - Multifamily
- **Tenure**
 - Owner
 - Renter
- **Household types**
 - Family
 - Elderly
 - Singles
- **Housing costs**
 - Affordability
 - Municipal role

Economic Development

- **Why Economic Development?**
 - Employment
 - Taxes
 - Services
- **Economic Centers**
 - Downtown Vitality
 - Industrial Growth
- **Role of Tourism**

Open Space and Recreation

- **Parks and Playgrounds**
- **Recreational Trails and Linkages**

Natural & Cultural Resources

Natural Resources

- Soils & geology
- Surface water
- Groundwater
- Wetlands

Cultural Resources

- Historic buildings
- Historic districts
- Scenic landscapes
- Streetscapes

Public Facilities

- **Schools**
- **Library**
- **Public Safety**
- **Water & Sewer**
- **Municipal Offices**

Transportation & Circulation

- **Streets**
- **Sidewalks**
- **Bicycle Routes**
- **Parking**
- **Bus**
- **Rail**

The Planning Process

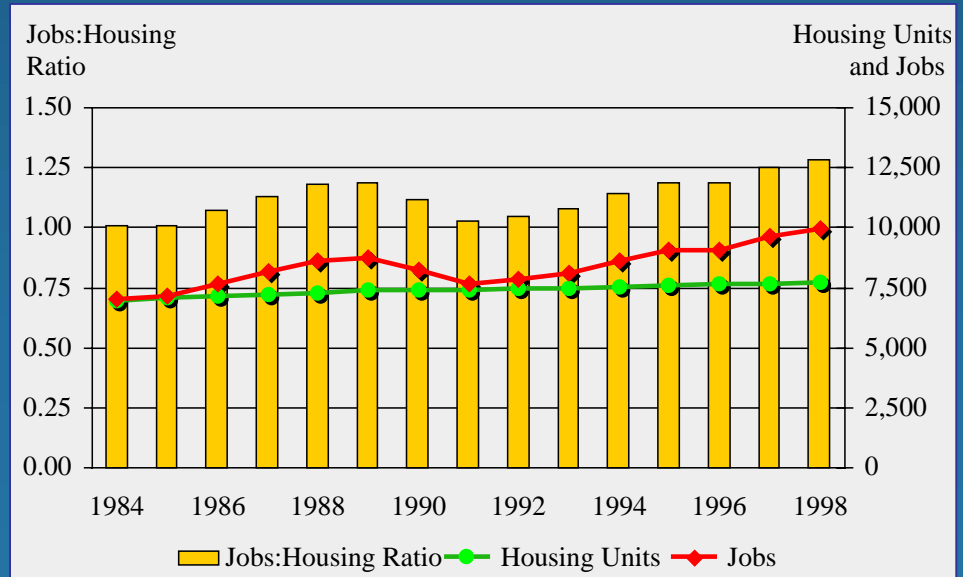
- **Inventory and Analysis**
- **Visioning, Goals and Priorities**
- **Draft Master Plan**
- **Community Review of Draft Plan**
- **Final Master Plan**

Inventory and Analysis

January–March 2003

- Data collection
- Analysis of challenges and trends
- Product: *Baseline Report*

CITY OF NEWBURYPORT		VALUATION DATA					
LAND USE CODE	TOTAL VALUATION	AVERAGE VALUATION			BUILDING		
		BUILDING	LAND (PER PARCEL)	LAND (PER ACRE)	BUILDING	SWELLING	
11	Residential Land Uses						
12	Single Family	\$440,000,000	\$702,527,400	\$70,273	\$252,800	\$118,456	9,969
13	Single Family - Condo/Co-op	\$12,000,000	\$522,800	\$254,798	\$740,520	\$106,456	2
14	Single Family - View	\$7,840,400	\$18,204,800	\$102,408	\$105,895	\$90,511	95
17	Condominium	\$184,979,400	\$184,076,800	\$8	\$999	\$128,204	1,271
19	Two Family	\$51,815,000	\$98,036,800	\$77,944	\$228,500	\$121,581	1,614
20	Three Family	\$14,125,000	\$21,156,800	\$77,042	\$284,194	\$175,240	279
21	Accessory Land	\$110,000	\$69,200	\$37,058	\$256,827	\$5,000	-
22	Multiple Housing on One Parcel	\$5,300,000	\$8,498,800	\$805,207	\$146,842	\$177,940	68
23	Apartment Unit	\$21,405,000	\$24,524,800	\$66,228	\$446,399	\$194,086	728
24	Apartment	\$6,805,400	\$8,688,800	\$209,178	\$531,252	\$679,983	106
25	Rooming & Boarding House	\$670,000	\$1,184,800	\$107,075	\$1,120,958	\$154,727	10
26	Developmental Residential Land	\$0	\$7,036,800	\$77,462	\$146,771	\$0	-
27	Foreclosed Residential Land	\$600	\$1,528,800	\$84,703	\$11,306	\$12	-
31	Unimproved Residential Land	\$2,000	\$1,737,200	\$6,954	\$10,700	\$0	-
32	Total Residential Properties	\$724,446,000	\$1,192,286,800	\$58,675	\$320,173		7,268



Visioning, Goals & Priorities

January–September 2003

- **Study Circles, Phases I & II**
- **Neighborhood and business area meetings**
- **Product: *Vision, Goals & Priorities***



Open Space and Recreation

Goal OSR-1
Increase the amount of public and private open space that is protected.

Policy:
Maintain a ratio of at least one acre of protected public open space (parks) per 26 residents.²

Strategy OSR-1.1
Create a permanent open space committee to monitor opportunities for open acquisition.

Strategy OSR-1.2
Prioritize open space for protection.

Action:

- Review Open Space Plan for guidance on priority open space needs.
- Evaluate unprotected land currently under the jurisdiction of city agencies to determine whether additional protection for open space and recreation purposes is appropriate.

Strategy OSR-1.3
Promote cluster residential development.

Action:

- Review existing cluster zoning ordinances and

INDICATORS

- Acres of public open space per capita
- Acres of municipal open space per capita



Prepare Draft Master Plan

September-December 2003

- **Master Plan elements conforming with RSA 674.2**
- **Implementation strategies with schedules and estimated costs**
- **Product: *Draft Master Plan***

Community Review of Draft Plan

January–June 2004

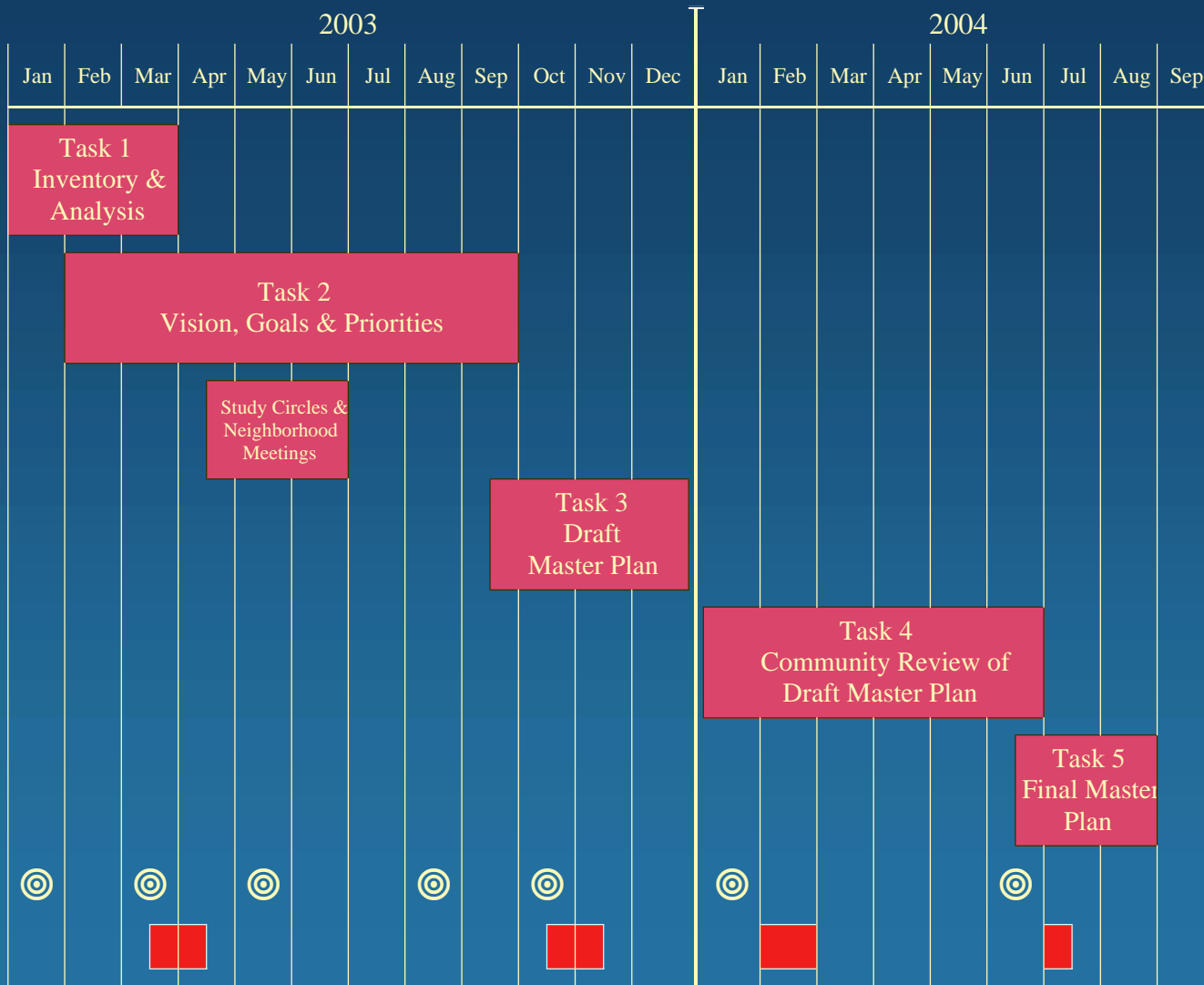
- **Planning Board Subcommittees**
- **Study Circles, Phase III**
- **Neighborhood and business area meetings**
- **Media presentations**
- **Product: Summary of public process, issues and concerns, and possible responses**

Prepare Final Master Plan

June–August 2004

Final Master Plan & Master Plan Summary

Project Overview and Timetable



⊙ = Master Plan Committee meetings

■ = Planning Board Subcommittee meetings