

Downtown Study Circle

Portsmouth Listens Phase II

Study Circle Participants

Stephen Alie, Bob Bowser

Joyce Browning, Joseph B. Carringer

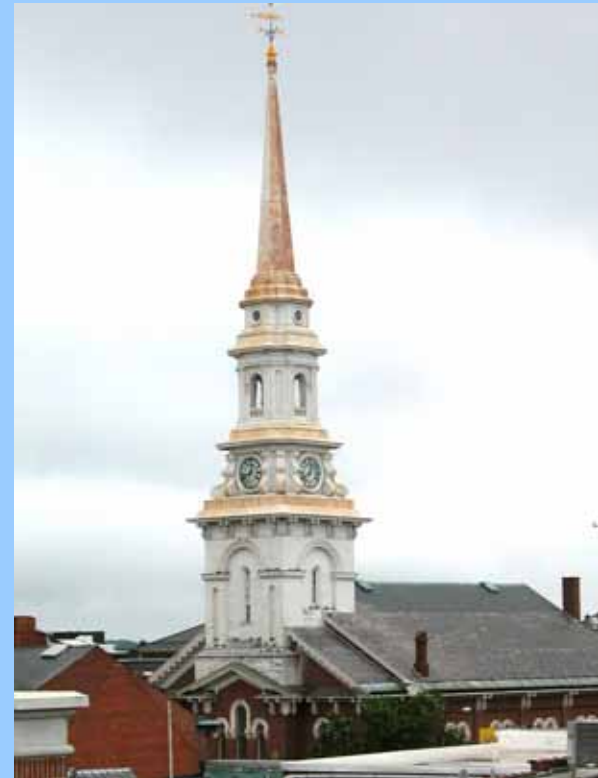
Brendan Cooney, Mary-Jo Ganley

Allen Hawthorne, Elizabeth A. La Page

Drew Nulph, Nicole Salotti, Paul Sorli

Alison Pyott, Facilitator

Joseph B. Carringer, Presenter



Outline of Report

Defining Downtown Core

Water Front Infrastructure

- **River Walk**
- **Ceres Street Improvement**
- **Our Harbor**
- **North Mill Pond**
- **More Maritime Attractions in Harbor**

Infrastructure (Non-waterfront)

Mixed-Use Zoning (Central Business District)

Northern Tier



Water Front

River Walk

- Continue to Prescott Park
- Add weather proof maps
- Descriptive educational signage:
*maps, diagrams, historic photos
- Riverwalk guides in summer months



Water Front

Ceres Street Improvement



- Repave with brick or cobblestone
- Use removable barricades to limit automobile traffic
- Add outdoor benches
- Post water front and downtown display maps

Water Front

Ceres Street Dumpster

- Create an attractive enclosure
- Control smell
- Curb thrown trash over fence



Ceres Street.
Dumpster

* Discussion of
dumpsters included
improvements to all
of Downtown



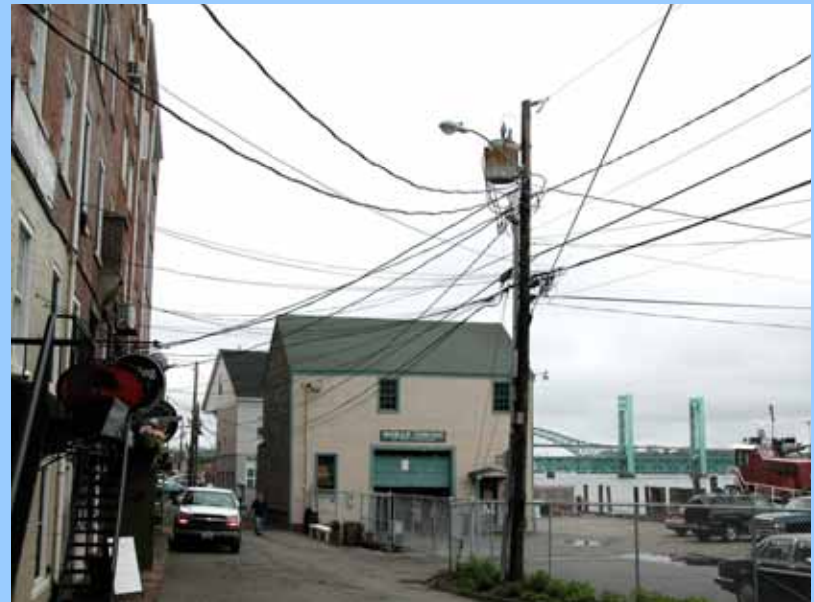
Infrastructure

- Under Ground Utilities
- Sidewalk Improvement
- Parking
- Bike Racks
- Clear Signage



Under Ground Utilities

- Wires are an eyesore
- Buildings can run underground wires to the poles
- Underground utilities are in most revitalized U.S. cities



Sidewalk Improvements



- Support current brick sidewalks with granite curbs
- Study widening sidewalks to improve foot traffic flow
- Sidewalks need to be maintained
- Improve handicap accessibility

Bike Racks

- Install high capacity bike racks
- Use unused space in parking garage
- Find other locations around downtown for bike racks



Clear Signage

Street Name Signs

- Easy to read
- Place un-obscured
- Mount on buildings when possible

Traffic Signs

- Easy to see and understand
 - * especially in wet weather
- Label key sites for improvements
- Post city maps in weather proof displays



Other Discussions

- Pedestrian street closings
- Hanover St. improvements
- Restoring public restrooms
- Spot recreational pockets
- **Basic up keep**



Mixed Use

- Make first floor space exclusively retail, restaurants, banks and public entertainment
- Franchises should be made to maintain local charm
- More sidewalk café's and outdoor markets (Popular with tourists and European's)
- Relax noise restrictions downtown to allow for a more business and entertainment friendly environment

Northern Tier

- Convention Center (adjacent to Sheraton)
- Parking Garage



* The Downtown Group supports the Northern Tier Feasibility Study
(Sasaki Associates 1999)