

DECK

City of Portsmouth, NH - 1 Junkins Ave, (603) 431-2006 x243

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Received

Building Permit Application - RESIDENTIAL ADDITIONS

Office Use:	Cost of All Construction: \$ _____	Fee: \$ _____	Chk #: _____	Cash: _____
Zoning District: _____	HD-A: _____	Map #: _____	Lot #: _____	Index #: _____
Building Permit #: _____				

Print in Ink or Type. Complete all blanks or indicate "N/A" if not applicable.

PROPERTY OWNER	
Name: <u>MARY MCGOWEN</u>	
Address: <u>94 FOREST AVE</u>	
St. Number	Street Name
City: <u>PORTSMOUTH</u>	State: <u>NH</u> Zip: <u>03801</u>
Phone: <u>(603) 427-1593</u>	Fax: <u>() NA</u>
Cell Phone / Pager: <u>(603) 234-1234</u>	

PERMIT APPLICANT	
Name: <u>JOE JONES</u>	
Address: <u>10 DOVER ST</u>	
St. Number	Street Name
City: <u>ROCHESTER</u>	State: <u>NH</u> Zip: <u>03867</u>
Phone: <u>(603) 332-8569</u>	Fax: <u>(603) 332-8568</u>
Cell Phone / Pager: <u>(603) 944-1234</u>	

Address of Construction: 94 FOREST AVE Unit #: _____

Street Number Street Name

Brief Description of Proposed Work: EXTERIOR DECK

Contractor: JOE JONES CONSTR. Phone: (603) 332-8569 Cell/Pager: (603) 944-1234

Contractor Address: 10 DOVER ST ROCHESTER, NH 03867

Existing Conditions (Land Use Data)

Lot Area: 8178 S.F. ; Existing Use of Land and Building(s): SINGLE FAMILY HOME

of Existing Dwellings: 1 ; # of Existing Off Street Parking Spaces Provided on the Lot: NA

(Not applicable to single family uses.)

Dimensions of Existing Building(s) & Structure(s) on this Lot

	Size *	S.F. of Footprint	#. of Stories	Ht. of Struct.	Basement (Y/N)
Main Building:	<u>40 x 28</u>	<u>1120</u>	<u>2</u>	<u>26</u>	<u>Y</u>
Attached Garage:	x				
Addition #1:	<u>15 x 8</u>	<u>120</u>	<u>1</u>	<u>12</u>	<u>N</u>
Addition #2:	x				
Porch:	x				
Deck:	x				
Detached Garage:	x				
Shed:	<u>10 x 8</u>	<u>80</u>	<u>1</u>	<u>8</u>	<u>N</u>
Other:	x				
Other:	x				
Other:	x				
TOTAL SQUARE FOOTAGE:		SUM = <u>1320 SF</u>			

* If structures are irregular in size, write "irregular" and fill the foundation square foot area under "SF of footprint".

Existing Building Setback Dimensions (Indicate the least setback dimension for each.)

House
 Front Setback: 24 Ft. ; Rear Setback: 39 Ft. ; Left Side Setback: 35 Ft. ; Right Side Setback: 12 Ft.
 Closest to nearest Wetlands (If applicable): NA Ft. Inland Wetland Coastal Wetland

All above information shall be shown on a site plan submitted with this application.

Proposed Conditions (Land Use Data)

of Newly Created Dwelling Units 0 ; S.F. of ea. New Unit(s) NA ; _____ ; _____ ; _____ ; _____
(Net Living Area, per New Unit)
 Sum of all New Unit's S.F. NA ; Number of New Off Street Parking Spaces Provided on the Lot 0
(Sum of the Individual Units Listed Above) (Not applicable to single family uses.)

Dimensions of New Additions on this Lot

	Size *	S.F.. of Footprint	#. of Stories	Ht. of Struct.	Basement (Y/N)
Addition #1:	___ x ___	_____	___	___	___
Addition #2:	___ x ___	_____	___	___	___
Addition #3:	___ x ___	_____	___	___	___
Attached Garage:	___ x ___	_____	___	___	___
Porch:	___ x ___	_____	___	___	___
Deck:	<u>30</u> x <u>12</u>	<u>360 SF</u>	<u>1</u>	<u>32"</u>	<u>N</u>
Detached Garage:	___ x ___	_____	___	___	___
Shed:	___ x ___	_____	___	___	___
Other:	___ x ___	_____	___	___	___
Other:	___ x ___	_____	___	___	___
Other:	___ x ___	_____	___	___	___
Other:	___ x ___	_____	___	___	___
TOTAL SQUARE FOOTAGE:		SUM = <u>360 SF</u>			

* If structures are irregular in size, write "irregular" and fill the foundation square foot area under "SF of footprint".

Proposed Building Setback Dimensions (Indicate the least setback dimension for each.)

Front Setback: 58 Ft. ; Rear Setback: 28 Ft. ; Left Side Setback: 41 Ft. ; Right Side Setback: 12 Ft.
 Closest Dimension to Nearest Wetlands (If applicable): NA Ft. Inland Wetland Coastal Wetland

All above information shall be shown on a site plan submitted with this application.

Construction Information

Every addition is different in terms of layout and framing details. Therefore, it is imperative that a set of construction plans or sketches be submitted with this application. The plans/sketches must show a dimensioned layout of all new rooms and spaces, in enough detail to determine building code compliance with the proposed construction. In a few cases, it may be necessary to show the existing room layout. The following is a list of specific items to be included with the plans/sketches and specifications:

Some of this information may not be needed, depending on the type of addition/construction being proposed.

- Foundation plan including anchor bolt/strap information.
- Floor plan of each story. (Show attic access location.)
- Framing plan of each story including sizes & spacing of joists and beams.
- Roof framing plan including sizes & spacing of rafters and roofing materials.
- If cathedral ceiling design, provide supported ridge details.
- Framing cross sections where applicable.
- Wall sections, showing all wall materials, including header sizes.
- Bedroom window sizes and if "tilt-clean" style.
- Insulation amounts on all exterior walls and ceilings (Including basement).
- All interior and exterior stair details showing tread depth, riser height, and guard protection.
- Stair handrail and deck guardrail details.
- Location of hard wired smoke detectors.

Construction Information-Continued

House Indicate information on the various additional trades or features listed below:

Sewerage System: City Sewer? (Y)N Subsurface? Y(N) State Septic Permit Number _____

City Water? (Y)N State Well Permit Number: _____

Plumbing Contractor: (Separate Permit Required) NA

Mechanical Contractor: (Separate Permit Required) NA

Electrical Contractor: (Separate Permit Required) NA

Fire Sprinkler System?: Y(N) (Separate Permit Required) Contractor _____

Expanded description of work:
CONSTRUCT DECK PER ATTACHED SKETCHES & SPECS.

National Flood Insurance Program Data: Flood Insurance Rate Map (FIRM) Community Number: 330139
 Map Panel Number: _____ FIRM Zone *: _____ Base Flood Elevation (BFE): 9 feet (NGVD)
 Elevation of lowest floor (including basement): _____ feet (NGVD) Elevation Certificate Submitted (Y/N): _____

- * If addition is NOT located in a Special Flood Hazard Area (SFHA) check here:
- * If addition IS located in a SFHA based on the FIRM, but a land survey shows the property is either outside the floodplain or the actual elevation of the lowest floor level is above the BFE, then a Letter of Map Amendment (LOMA) should be completed by the owner and/or design professional.

NOTE: If the building addition is within the SFHA an *Elevation Certificate* is required to be completed by a licensed design professional.

✓ Plans Submitted: Site Floor _____ Framing Electrical _____ Plumbing _____ Mechanical _____ Rolled _____
 Other _____

Cost of All Construction / Renovation: \$ 2000⁰⁰

I certify that the information given is true and correct to the best of my knowledge. *No change from the above information will be made without approval of the Building Inspector.* Construction activities shall not commence until the Building Permit is issued.

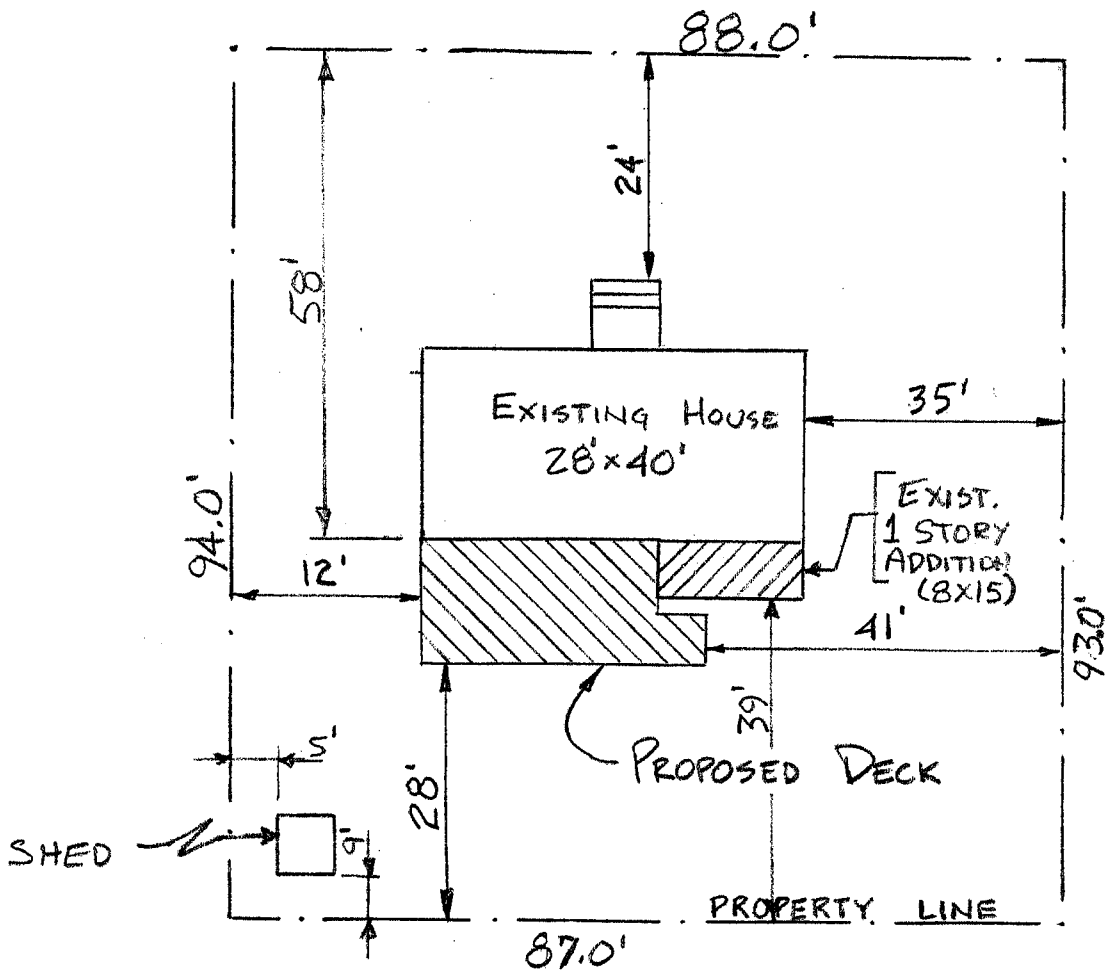
I realize that when all necessary approvals have been acquired, a Building Permit may be granted by the Building Inspector to allow construction in conformance with this application and the plans/specifications submitted in support of said construction only.

I further acknowledge that the proposed structure shall not be occupied or otherwise utilized without the issuance of a Building Certificate of Occupancy and only after all necessary inspections have been requested and completed. I am also aware that the disposal of waste generated from this project is my responsibility and not part of the City's curbside collection program.

Joe Jones 7/31/03
 Signature of Applicant Date

CONTRACTOR
 If Not Owner, State Relationship

← FOREST AVE →



SITE PLAN SAMPLE
94 FOREST AVE

SAMPLE NEW CONSTRUCTION :

OUTDOOR SUNDECK

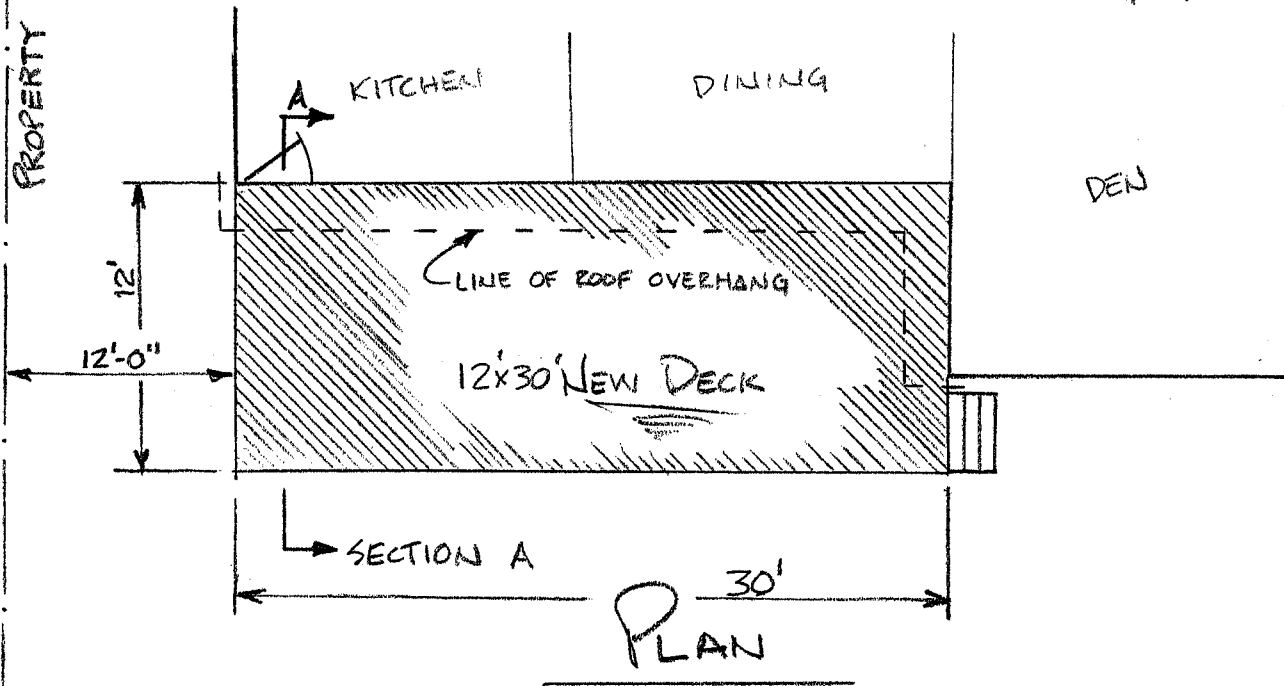
EXTENT OF WORK

1. REMOVE EXISTING BACK PORCH AND STEPS.
2. DIG POST HOLES
3. PLUMB AND ENCASE POSTS IN CONCRETE.
4. FRAME UP TO HOUSE USING 2X4 BLOCKS AT BOLTS TO ALLOW AIR CIRCULATION. (SEE DETAIL 1)
5. COMPLETION OF FRAMING, LAY DECKING DIDGONALLY, INSTALL STEPS & HANDRAILS.
6. ALL STRUCTURAL SUPPORTING MEMBERS SHALL BE PRESSURE TREATED LUMBER.

SAMPLE DRAWINGS FOR NEW DECK

NOTE: STRUCTURAL MEMBER SIZES AND SPACINGS SHOWN IN THESE DRAWINGS ARE FOR DEMONSTRATION PURPOSES ONLY. ACTUAL MEMBER SIZES AND SPACINGS DEPEND UPON SEVERAL VARIABLES UNIQUE TO EACH CASE. THE INTENT OF THIS EXAMPLE IS TO SHOW THE DEGREE OF DETAIL THAT SHOULD BE INCLUDED FOR BUILDING PERMIT APPLICATION.

PROPERTY LINE



$\frac{3}{4}$ " BOLTS
@ 4'-0" O.C.

ALL LUMBER TO BE "PRESSURE TREATED"

